

CHAPTER 5.8 NARARA ECO-VILLAGE

5.8.1 LAND TO WHICH THIS CHAPTER APPLIES

This chapter applies to the land currently identified as Lots 1-35 and 40-50, in DP270882, and SP103399 as per Figure 1. The R2 – Low Density Residential zoned land within the site was formerly used as Gosford Horticultural Institute and is now known as Narara Eco-Village.

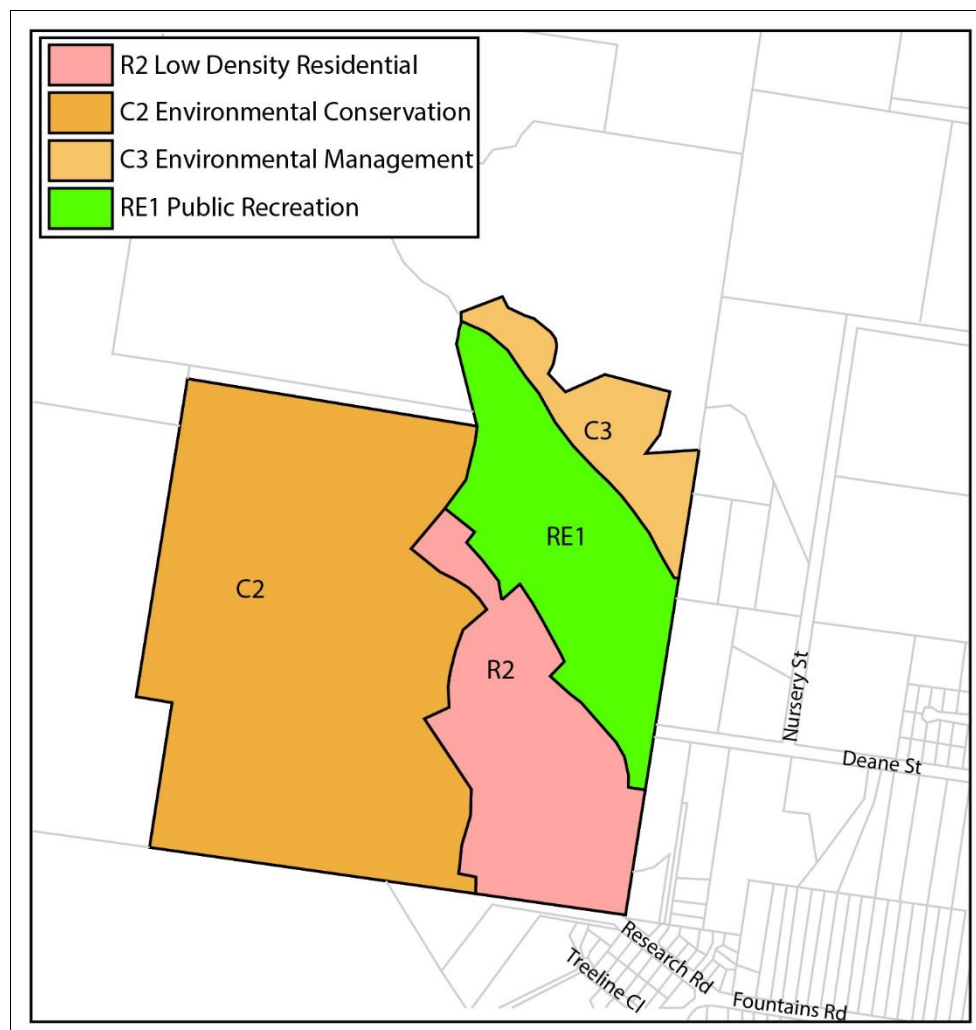


Figure 1 – Land to which this chapter applies

Note. Above figure to be updated to identify RE1 zoning to C3 Enviro Management when Planning Proposal is finalised.

5.8.2 PURPOSE OF CHAPTER

The purpose of this chapter is to provide detailed planning and design guidelines to support the development and use of the land for a residential subdivision, specifically an eco-village within the area zoned R2 Low Density Residential. The site was formerly used as Gosford Horticultural Research and Advisory Station before being acquired by a co-operative for an eco-village. Since that time the site has been known as 'Narara Eco-Village' and provides opportunities for eco-friendly living and related community ventures. The eco-village is a community title subdivision and operates under a Community Management Statement.

5.8.3 OBJECTIVES

The objectives of this chapter are:

- To encourage the orderly development of the site for residential and environmental related purposes including adaptive reuse of existing facilities;
- To protect threatened species and their habitats on the site;
- To facilitate small scale retail uses that support the community who live on site
- To ensure traffic and transport associated with the redevelopment is appropriately managed;
- To ensure effective bushfire protection and management occurs on site;
- To restrict development in flood liable areas and consider flooding and drainage issues and to ensure there is no increase in downstream flooding;
- To protect items of environmental heritage;
- To ensure the development is carried out in accordance with best practice management for site development; and,
- To ensure on-site contamination is addressed.

5.8.4 USING THIS CHAPTER

All development applications MUST be accompanied by the required assessments under the relevant State Government Policy and Council policy.

This Chapter should be read in conjunction with other relevant Chapters of this Development Control Plan and other Policy Documents of Council, including but not limited to:

- 2.2 Dual Occupancy and Multi Dwelling Housing
- 2.5 Commercial Development
- 2.13 Transport and Parking
- 2.14 Site Waste Management
- 3.1 Floodplain Management and Water Cycle Management
- 3.2 Coastal Hazard Management
- 3.5 Tree and Vegetation Management

Where there is a discrepancy between this Chapter and other relevant Chapters, the controls within this Chapter prevail.

5.8.4 REQUIREMENTS

5.8.4.1 Land Use

- a) In accordance with Clause XX of Central Coast Local Environmental Plan 2022, development for the purposes of 'restaurants or cafes', 'take-away food and drink premises', 'shop', 'markets' and 'business premises' is permitted with consent on land currently identified as Lot 49 and Lot 50 DP270882 (and any future subdivided land); however must not exceed 1,500 square metres of gross floor area (GFA) including 200 square metres of GFA for food and drink premises.

- b) Development for the purposes identified in Clause (a) above is to be generally located in accordance with Figure 2 (see 'non-residential uses' and is to consider the adaptive re-use of the existing buildings where appropriate.
- c) Replacement, alterations and/or additions to the buildings are permissible however the gross floor area must not exceed 1,500 square metres of GFA including 200 square metres of food and drink premises.
- d) In accordance with Clause XX of Central Coast Local Environmental Plan 2022, development for the purposes of 'multi-dwelling housing' and 'attached dwellings' is permitted with consent on the R2 zoned land i.e. Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, Part Lot 50 in DP270882 and SP103399 (including any future subdivided land).
- e) Development for the purposes of multi-dwelling housing must not exceed 15 dwellings.
- f) Development for the purposes identified in Clause (e) above are to comply with the requirements in Chapter 2.2 Dual Occupancy and Multi Dwelling Housing of CCDCP 2022.

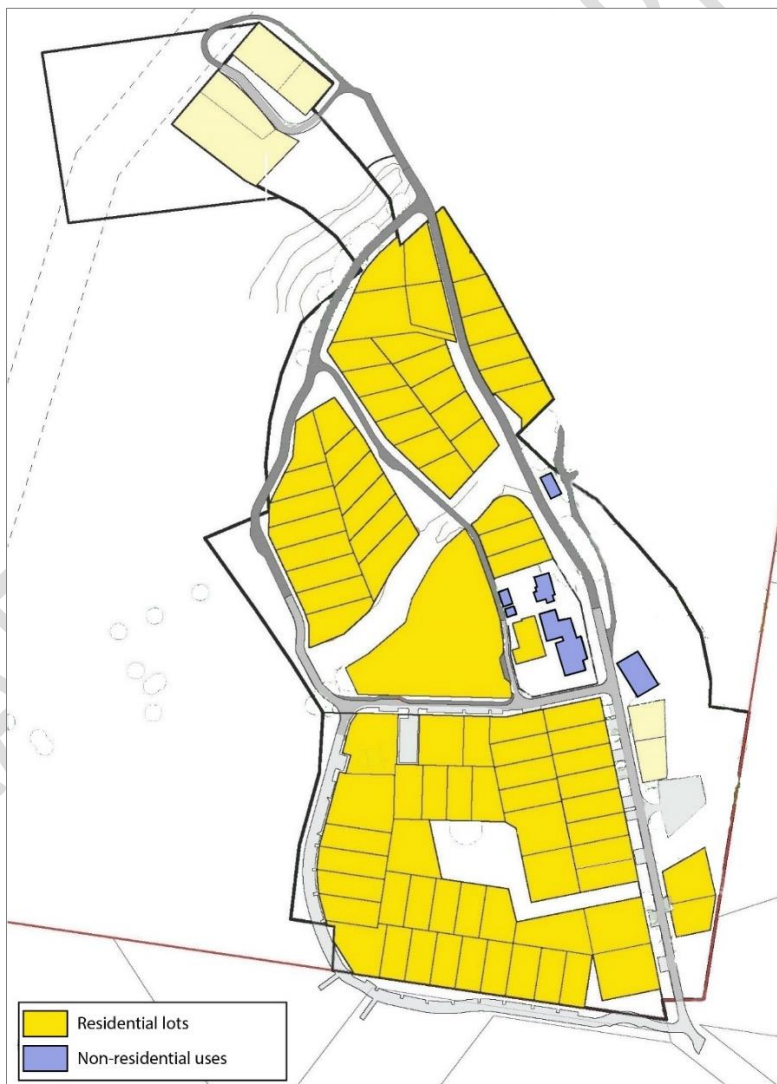


Figure 2 – Location of additional permitted uses

5.8.4.3 Traffic Management

The site is located at the end of Research Road within the upper reaches of the Narara Valley. Consideration needs to be given to connection to the existing road network and internal vehicular circulation systems within the subdivision/development to ensure a cohesive and integrated road network that facilitates external flood free vehicular access, if possible, public transport, and encourages walking and cycling.

- a The major vehicular access point to the subdivision/development is to be located at the south eastern corner of the land in the immediate vicinity of the existing terminus of Research Road.
- b Improvements to the local road network outside of the site may be required as a consequence of this residential subdivision/development. Such works are to be determined at the Development Application stage and are to be undertaken at no cost to Council.
- c All internal roads within the subdivision/development are to be designed in accordance with Council and Transport for New South Wales (TfNSW) accepted engineering design standards and relevant Australian Standards and/or Austroads and to be determined at the Development Application (DA) stage.
- d The development application for the subdivision/development of the land is to be referred to TfNSW for comment.

5.8.4.4 Environmental Protection

Investigations have identified threatened species exist on the land. Species include *Syzygium paniculatum* (Magenta Lily Pilly), *Rhodamnia rubescens* (Scrub turpentine), *Pteropus poliocephalus* (Grey Headed Flying Fox), *Petaurus Australis* (Yellow Bellied Glider), *Miniopterus schreibersii oceanensis* (Large bent-winged bat - eastern subspecies) *Tyto tenebricosa* (Sooty Owl) and *Ninox Strenua* (Powerful owl). Further consideration may be required to be given to impacts on Threatened Species as part of the Development Application process.

- a The locations of all *Rhodamnia rubescens* (Scrub turpentine) specimens are to be fixed by land survey and plotted on any future development application for subdivision/development.
- b The locations of all *Syzygium paniculatum* (Magenta Lily Pilly) specimens are to be fixed by land survey and plotted on any future development application for subdivision/development.
- c A 30 metre exclusion zone is to be created around the threatened flora species *Syzygium paniculatum* (Magenta Lily Pilly) and *Rhodamnia rubescens* (Scrub turpentine) specimens, with the details to be determined at the development application stage.
- d Any future development application for subdivision/development or future dwellings is to be designed so as to not result in the removal of any hollow-bearing trees or roosting or nesting habitat for threatened owl species.
- e Any future subdivision/development layout shall be designed so as to not result in the removal of any actual yellow bellied glider sap trees.
- f Any future subdivision/development layout shall be designed in such a way to prioritise the retention of any Koala feed trees.
- g Plant species used for landscaping should be restricted to locally occurring native species especially those commensurate with the Plant Community Type 1566 - White Mahogany - Turpentine moist shrubby tall open forest.

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- h External night lighting associated with any future subdivision/development layout will be designed to reduce light spillage into adjacent forested areas.
 - i A Plan of Management shall be prepared for any future subdivision/development application. The Plan of Management will provide a prescriptive framework for the management of threatened species habitat, weed management, mitigate potential indirect impacts associated with any future subdivision/development and provide strategies for the on-going management of the site.
 - j Consideration should be given to the retention of any Toona ciliate (Red Cedars).

5.8.4.5 Bushfire Protection

The land, including the area proposed for residential subdivision/development, has been mapped as being Category 1 and Category 2 Bushfire Prone Land together with bushfire buffer areas. Due to the relative physical inaccessibility of the site (with only one road access) future development needs to have due regard to requirements in relation to bushfire protection. It is noted that a review is being undertaken of a triangular section of land located to the immediate east of the existing access driveway that may need to be taken into consideration in future planning for bushfire protection.

- a Any future development application is to be referred to the NSW Rural Fire Service (RFS) for consultation and will be required to comply with any requirements of the RFS.
- b Subdivision/development design and layout is to be designed in accordance with NSW Rural Fire Service *Planning for Bushfire Protection 2019* and have regard to the Development Control Practice Notes issued.
- c Due to the environmental values of the land, bushfire asset protection zones for Bushfire Prone land shall be measured from the edge of existing areas of remnant native vegetation and will not result in the removal or modification of any remnant vegetation (as required by Council's Environmental Officer).

5.8.4.6 Flood Liable Areas, Flooding and Drainage Issues (on C3 Zoned Land)

A significant part of the land within the C3 Environmental management zone has been identified as being flood liable (below the 1% Annual Exceedance Probability (AEP) line). This land is zoned C3 Environmental Management. C3 Environmental Management land on the eastern side of Narara Creek does not currently have flood free access and would be isolated in the event of flooding in the vicinity of Hanlan Street.

- a Where necessary, land located above the 1% AEP line is to be filled at least 0.5 metres above the 1% AEP flood level to achieve 0.5 metre freeboard.
- b Any drainage and/or filling works proposed below the 1%AEP (including access to the C3 land in the eastern section of the site) are to ensure that no adverse effect occurs on flood waters both up and downstream.
- c The developer is to be responsible for the design and construction of all internal and external drainage works required for the development.
- d No residential lots are to be created that are below the 1% AEP line.
- e Catchment flood flows and any flows that may be associated with dam failure are to be contained and passed safely through the developed areas and discharged appropriately in accordance with Council's standards for development. Any increase in stormwater flows is to be detained on site to ensure that there is no chance of increase in downstream flooding.
- f In the vicinity of flood liable land, an adequate building curtilage to accommodate a rural residential dwelling and associated activities above the Probable Maximum Flood line is to be identified at the time of subdivision/development.

- g All land use activities, including fencing, landscaping etc. associated with rural residential living are not to impact on the flow of floodwaters either up or downstream.

5.8.4.7 Environmental Heritage

The site has played a significant role in the development of agricultural and horticultural research on the Central Coast. Consultant studies have been prepared in relation to the heritage values of the land. Some buildings and elements on the land have been identified in Central Coast LEP 2022 for listing as Heritage Items under Schedule 5 of the Central Coast LEP 2022 Council's Heritage Inventory Sheets are required to be updated to include these additional items. This chapter provides further guidelines for these items.

- a As per the Central Coast LEP 2022, **Table 1** lists items of environmental heritage.

Item	Location
Manager's Cottage, Hen House (former Shower Block) and curtilage	Located in the centre of the site to the west of the existing access road
Former Grafting Shed/Administration Block and curtilage	Two storey weatherboard building located on low side of the existing main access road in the centre of the site
Group of <i>Taxodium distichum</i> (Bald Cypress)	Located at the entrance of the site on the eastern (low) side of the existing main access road
Specimen of <i>Syncarpia glomulifera</i> (Turpentine)	Located on the eastern boundary near the entrance to the site
Group of <i>Araucaria cunninghamii</i> (Hoop Pines)	Located to the west of row of callery pears and on the western side of the existing internal access road
Plantation of <i>Carya illinoensis</i> (Pecan)	Located to the east of the dam wall and south of the dam overflow
Row of <i>Pyrus calleryana</i> (Callery Pear),	Located to the east of the main access road on the flood plain on land to be zoned C3
Type of specimen of <i>Pyrus calleryana</i> (Callery Pear) strain D6	Located to the north west of the main existing building complex
Main Entrance Gate Posts	Located at the main entrance to the site at the terminus of Research Road

- b The provisions of Clause 5.10 of the Central Coast LEP 2022 are required to be considered in respect to any of the above items of environmental significance in relation to any future Development Applications.
- c All heritage items are to be used and managed in accordance with the relevant Heritage Inventory Data sheets held in the office of the Council.
- d The Main Entrance gates, *syncarpai glomulifera* (Turpentine) and *taxodium distichum* (Bald Cypress) are to be retained and incorporated into an entrance statement for the subdivision/development, with consideration for interpretative signage.

5.8.4.8 Best Practice Management

Given the scale of the development, there is opportunity to implement total water cycle management including the integration between stormwater, potable water and possible grey water re-use, as well as rainwater harvesting to water street trees and the like. The site could be used to showcase best practice management and set a leading example of sustainable urban development.

- a All stages of the development are to be designed in accordance with the requirements of Council's Civil Works Specification to ensure an integrated approach to water management, nutrient control and embodies best practice water sensitive urban design.
- b All stages of development, including site preparation, subdivision/development and building works, shall incorporate soil conservation measures to minimise soil erosion and siltation during and upon completion of all works. Measures to be employed are to comply with the Erosion and Siltation Control provisions of Council's Civil Works Specification.

5.8.4.9 Site Contamination

Due to the history of land use, *State Environmental Planning Policy (Resilience and Hazards) 2021 Chapter 4 Remediation of Land* needs to be considered. Preliminary assessments and further site contamination investigations were undertaken and concluded that the land was suitable for rezoning to residential purposes subject to additional matters as required below.

- a A Site Remediation Action Plan is to be prepared and implemented in accordance with *State Environmental Planning Policy (Resilience and Hazards) 2021* and the document *Managing Land Contamination - Planning Guidelines*.
- b A Site Validation Report be prepared and implemented in accordance with *State Environmental Planning Policy (Resilience and Hazards) 2021* and the document *Managing Land Contamination - Planning Guidelines*.
- c Prior to the issuing of a construction certificate/releasing engineering plans for future subdivision/development works, Council shall be issued with a Site Audit Statement by an accredited Department of Environment and Conservation (former EPA) Auditor stating the land is suitable for its intended uses.
- d A Phase 2 Contamination Assessment is required to be submitted with any future development applications for development within the proposed Stage 3 development as shown in Figure 1 (see Stage 3). Any remediation or management of contaminated areas, if identified during the Phase 2 assessment, must be conditioned to be complied with.

5.8.4.10 Residue C2 - Environmental Conservation Allotment

The residue C2 - Environmental Conservation lot in the western section of the site has very high environmental and scenic qualities that need to be protected in the long term. There is only a limited area available for the erection of a dwelling and the undertaking of other private land use activities. The remainder of the lot is to be protected to maintain its environmental and scenic qualities. In addition to other matters specified in this chapter, the following matters apply specifically to this proposed lot.

- a The dwelling house and associated landscaping/rural residential activities are to be located in the cleared area in the location shown on the attached plan.
- b A Conservation Agreement established under the Biodiversity Conservation Trust (BCT) for the land is to be prepared and agreed to by the BCT, Council and the owners in relation to managing and protecting the high environmental qualities of this lot for the long term.

5.8.4.11 Servicing Considerations

The site is outside of Council's Water and Sewer Service Area and, as such, is not accommodated in existing infrastructure provision strategies. A preliminary sewer system analysis has been undertaken and options investigated for augmentation of existing Council services to accommodate the development. Further on-going discussions have indicated that the developer will be required to undertake upgrading works for water and sewer.

- a The developer will be required to pay Council's current water and sewer headworks/ augmentation contributions in accordance with Council's policy.
- b The developer will be responsible for the design and construction of water and sewer reticulation within the rezoned area.
- c The developer will be responsible for the full cost of connection of the rezoned area to the existing water and sewer system, including upgrading works to water and sewer systems outside of the rezoned area.

The developer will be responsible for the design and full cost of augmentation works of the existing water and sewerage systems required as a result of demands/loadings generated by the proposed development.